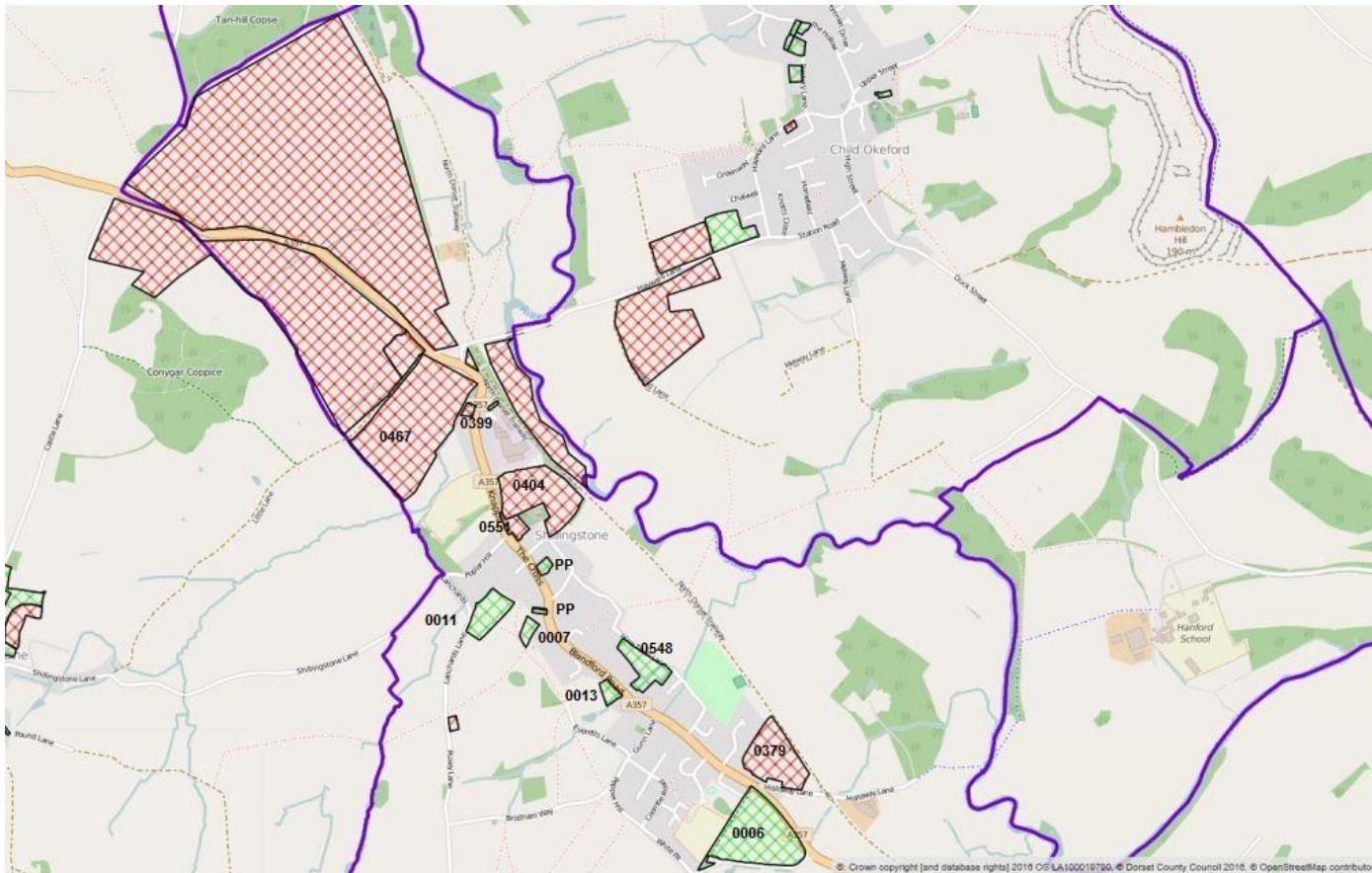


North Dorset Local Plan

Strategic Housing Land Availability Assessment: EXTRACTS - Shillingstone

March 2012



INCLUDED sites

- 0006 Land at Eastbrook Farm
- 0007 Orchard adjoining the Lodge
- 0011 Land adjoining Red House
- 0013 Land NW of the Cobbles
- 0548 Land off Hine Town Lane

EXCLUDED sites

- 0379 Hambleton Farm
- 0399 Dee Jay Motors
- 0404 Churchfields
- 0467 Holloway Farm
- 0551 Shillingstone Primary School

Included Site

Site Reference Number	<input type="text" value="2/46/0006"/>	Parish	<input type="text" value="46.Shillingstone CP"/>
Site Address	<input type="text" value="Land at Eastbrook Farm"/>		
Settlement	<input type="text" value="Shillingstone"/>		
Source of site	<input type="text" value="Site submitted by landowner"/>	<input type="text" value="Greenfield"/>	
Total site area (ha)	<input type="text" value="4.52"/>	Developable Site Area (ha)	<input type="text" value="4.52"/>
Estimated potential	<input type="text" value="100"/>		
Comments on final potential	<input type="text" value="Edge of village site therefore density appropriate to this location"/>		
Supply Yrs 1 to 5	<input type="text" value="0"/>	Supply Yrs 6 to 10	<input type="text" value="100"/>
Supply Yrs 11 onwards	<input type="text" value="0"/>		

	Constraints	Possible actions to mitigate constraints
Strategic policy considerations		
Local policy considerations		
Flood risk	Flood Zone 1	Develop in line with site level FRA
Tree cover	None, mature hedgerows form the boundary of the site	Tree survey and preserve valuable trees/hedges
Contamination / hazard	Associated with farm buildings	Soil/contamination assessment and remediation where needed
Environmental conditions		
Topography / ground conditions	Generally flat site	
Townscape or character	attractive edge of village location, adjacent to new school	
Site Access	Narrow approach lane	Adjacent land in same ownership therefore access limitations can be overcome

Suitability	<input type="text" value="Suitable"/>	Availability	<input type="text" value="Available"/>	Achievability	<input type="text" value="Not Achievable"/>
General Comments	<input type="text"/>				

REPORT END

Position as at 31st
March 2012

North Dorset SHLAA - A technical study to inform future policy, it does not constitute planning policy in itself

Included Site

Site Reference Number	<input type="text" value="2/46/0007"/>	Parish	<input type="text" value="46.Shillingstone CP"/>
Site Address	<input type="text" value="Orchard adjoining The Lodge Blandford Road"/>		
Settlement	<input type="text" value="Shillingstone"/>		
Source of site	<input type="text" value="Site submitted by landowner"/>	<input type="text" value="Greenfield"/>	
Total site area (ha)	<input type="text" value="0.31"/>	Developable Site Area (ha)	<input type="text" value="0.31"/>
Estimated potential	<input type="text" value="6"/>		
Comments on final potential	<input type="text"/>		
Supply Yrs 1 to 5	<input type="text" value="0"/>	Supply Yrs 6 to 10	<input type="text" value="6"/>
Supply Yrs 11 onwards	<input type="text" value="0"/>		

	Constraints	Possible actions to mitigate constraints
Strategic policy considerations		
Local policy considerations	Outside of settlement boundary	policy review
Flood risk	Flood Zone 1	
Tree cover	Hedges around the site	Tree survey and preserve valuable trees/hedges
Contamination / hazard	None known	
Environmental conditions		
Topography / ground conditions	Generally a flat site	
Townscape or character	Attractive location, rural area, Conservation area	Design sensitive to setting
Site Access	Access available onto existing drive	

Suitability	<input type="text" value="Suitable"/>	Availability	<input type="text" value="Available"/>	Achievability	<input type="text" value="Not Achievable"/>
General Comments	<input type="text"/>				

REPORT END

Position as at 31st
March 2012

North Dorset SHLAA - A technical study to inform future policy, it does not constitute planning policy in itself

Included Site

Site Reference Number Parish

Site Address

Settlement

Source of site

Total site area (ha) Developable Site Area (ha) Estimated potential

Comments on final potential

Supply Yrs 1 to 5 Supply Yrs 6 to 10 Supply Yrs 11 onwards

	Constraints	Possible actions to mitigate constraints
Strategic policy considerations		
Local policy considerations	Outside of settlement boundary	policy review
Flood risk	Flood zone 1	Develop in line with site level FRA
Tree cover	Hedges and trees in the hedgerows	Tree survey and preserve valuable trees
Contamination / hazard	None known	
Environmental conditions		
Topography / ground conditions	flat field	
Townscape or character	Adjacent to Conservation Area and in pleasant rural location	design sensitive to setting
Site Access	Access would be via Lanchards lane	

Suitability Availability Achievability

General Comments

REPORT END

Position as at 31st March 2012

North Dorset SHLAA - A technical study to inform future policy, it does not constitute planning policy in itself

Included Site

Site Reference Number Parish

Site Address

Settlement

Source of site

Total site area (ha) Developable Site Area (ha) Estimated potential

Comments on final potential

Supply Yrs 1 to 5 Supply Yrs 6 to 10 Supply Yrs 11 onwards

	Constraints	Possible actions to mitigate constraints
Strategic policy considerations		
Local policy considerations	outside settlement boundary	Policy review
Flood risk	1	
Tree cover	no TPO	
Contamination / hazard	none	
Environmental conditions	none	
Topography / ground conditions	none	
Townscape or character	within Conservation Area	
Site Access	Access onto main road	negotiation with DCC Highways

Suitability Availability Achievability

General Comments

REPORT END

Position as at 31st March 2012

North Dorset SHLAA - A technical study to inform future policy, it does not constitute planning policy in itself

Included Site

Site Reference Number	<input type="text" value="2/46/0548"/>	Parish	<input type="text" value="46.Shillingstone CP"/>
Site Address	<input type="text" value="Land Off Hine Town Lane
Shillingstone"/>		
Settlement	<input type="text" value="Shillingstone"/>		
Source of site	<input type="text" value="Identified By PP Officer"/>	<input type="text" value="Greenfield"/>	
Total site area (ha)	<input type="text" value="1.22"/>	Developable Site Area (ha)	<input type="text" value="1.22"/>
Estimated potential	<input type="text" value="30"/>		
Comments on final potential	<input type="text" value="estimate allows for drainage ditch and for a density not too high as to be out of character with the existing area"/>		
Supply Yrs 1 to 5	<input type="text" value="0"/>	Supply Yrs 6 to 10	<input type="text" value="30"/>
Supply Yrs 11 onwards	<input type="text" value="0"/>		

	Constraints	Possible actions to mitigate constraints
Strategic policy considerations		
Local policy considerations	IOWA	policy review
Flood risk	Within flood zone 1 but drainage ditch runs through middle of site	Develop in line with site level FRA
Tree cover	A few trees exist on the boundaries of the site - none with TPO	Tree survey and preserve valuable trees
Contamination / hazard	lots of debris on the site - tyres, furniture, builders waste etc	Soil/contamination assessment and remediation where needed
Environmental conditions		
Topography / ground conditions	slopes gently down to the south east	
Townscape or character	Within conservation area. Houses in this part of village are large on large plots, however there are some newer houses with smaller plots near the site.	Design sensitive to conservation area
Site Access	no access at present, could either bring access off Blandford Rd or Hine Town Lane - Hine Town Lane is however narrow in places	

Suitability	<input type="text" value="Suitable"/>	Availability	<input type="text" value="Not Available"/>	Achievability	<input type="text" value="Not Achievable"/>
General Comments	<input type="text" value="Ownership unknown therefore long term potential"/>				

REPORT END

Position as at 31st March 2012

North Dorset SHLAA - A technical study to inform future policy, it does not constitute planning policy in itself

Excluded Site

Site Reference Number	<input type="text" value="2/46/0379"/>	Parish	<input type="text" value="46.Shillingstone CP"/>
Site Address	<input type="text" value="Land adj Hambledon Farm, Bero Marsh & Haywards Lane
Shillingstone"/>		
Settlement	<input type="text" value="Shillingstone"/>		
Source of site	<input type="text" value="Site submitted by landowner"/>	<input type="text" value="Greenfield"/>	
General Comments	<input type="text" value="Area adjacent to settlements are within Flood Zone 3b and therefore remainder is separated from settlements. Development of this site would extend the village away from the current 'centre' which is undesirable. Excluded"/>		

REPORT END

Position as at 31st March 2012

North Dorset SHLAA - A technical study to inform future policy, it does not constitute planning policy in itself

Excluded Site

Site Reference Number	2/46/0399	Parish	46.Shillingstone CP
Site Address	Dee jays Motors Blandford Road		
Settlement	Shillingstone		
Source of site	Site submitted by landowner	Brownfield	
General Comments	Site is within flood zone 3b and has contamination issues associated with existing use, therefore unsuitable for residential development and unlikely to be desirable		

REPORT END

Excluded Site

Site Reference Number	2/46/0404	Parish	46.Shillingstone CP
Site Address	Churchfield Shillingstone		
Settlement	Shillingstone		
Source of site	Site submitted by landowner	Greenfield	
General Comments	Would significantly harm the character and setting of the church, access from the inside of the bend of main road would further make this site difficult to develop therefore excluded		

REPORT END

Excluded Site

Site Reference Number	2/46/0467	Parish	46.Shillingstone CP
Site Address	Land at Holloway Farm Shillingstone		
Settlement	Shillingstone		
Source of site	Site submitted by landowner	Greenfield	
General Comments	Extend development along road, away from village facilities. Junction with main road has limited visibility and therefore a new junction would be required involving the possible demolition of an existing property, therefore excluded		

REPORT END

Excluded Site

Site Reference Number	2/46/0551	Parish	46.Shillingstone CP
Site Address	Shillingstone Primary School Blandford Road		
Settlement	Shillingstone		
Source of site	Identified By PP Officer	Brownfield	
General Comments	School is expected to be relocated at some point near 2010 and therefore this site will become available. However, development would significantly harm the setting of the church therefore excluded		

REPORT END